



RIVER TERRACE
CROMWELL

winton.nz

Golden hills.
Open skies.



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Overview

Welcome to River Terrace

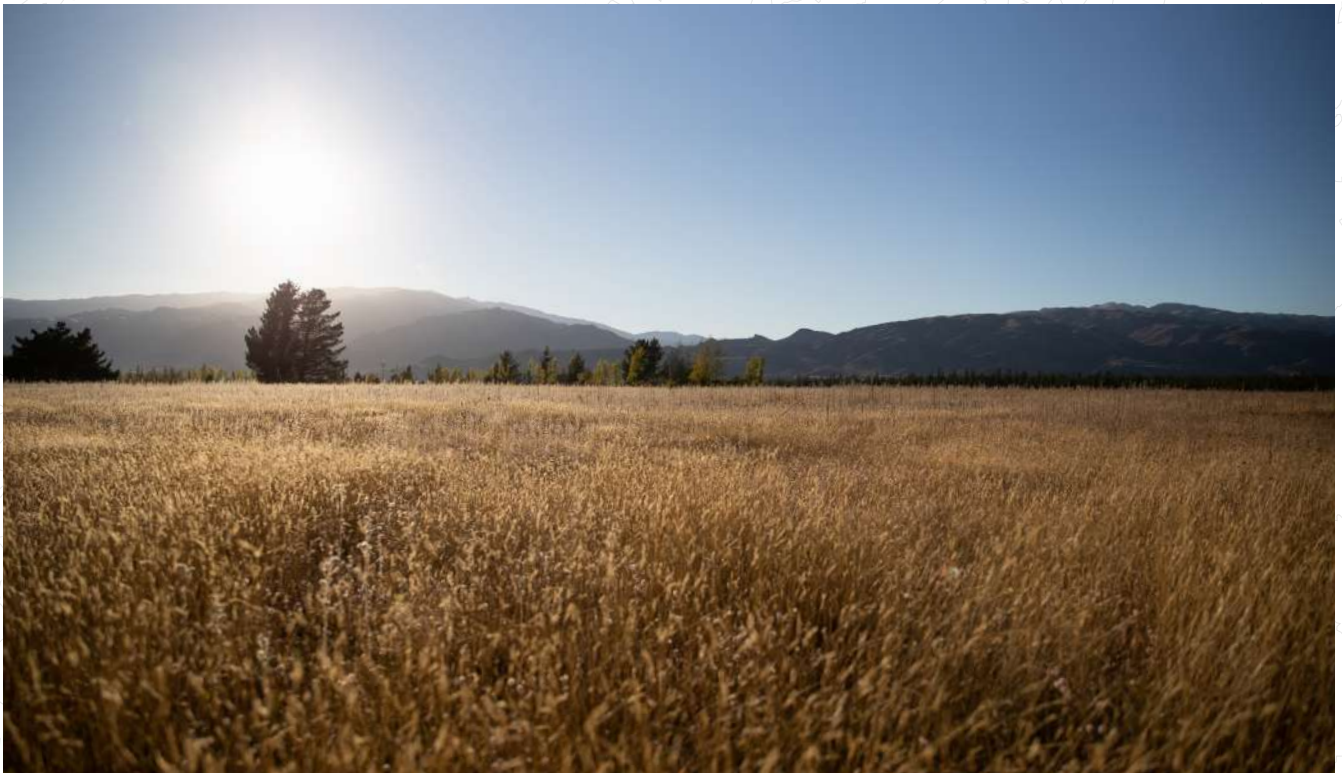
Nestled above the turquoise waters of the world-famous Kawarau River and enveloped by the rugged mountain ranges of Central Otago.

Large exclusive lifestyle blocks with the luxury of space and flexibility to establish the ideal place to live, work and play at home.



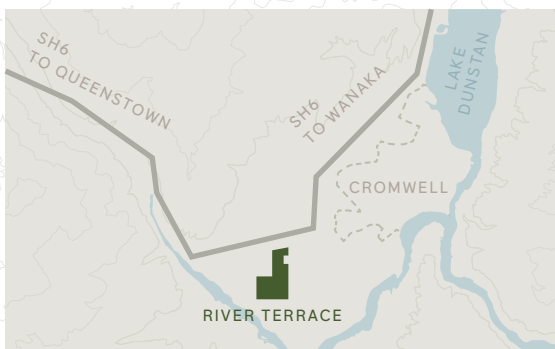
Site boundary shown is indicative

The Location



Set in the growing heart of Central Otago, River Terrace enjoys breathtaking scenery, vivid landscapes and endless outdoor experiences.

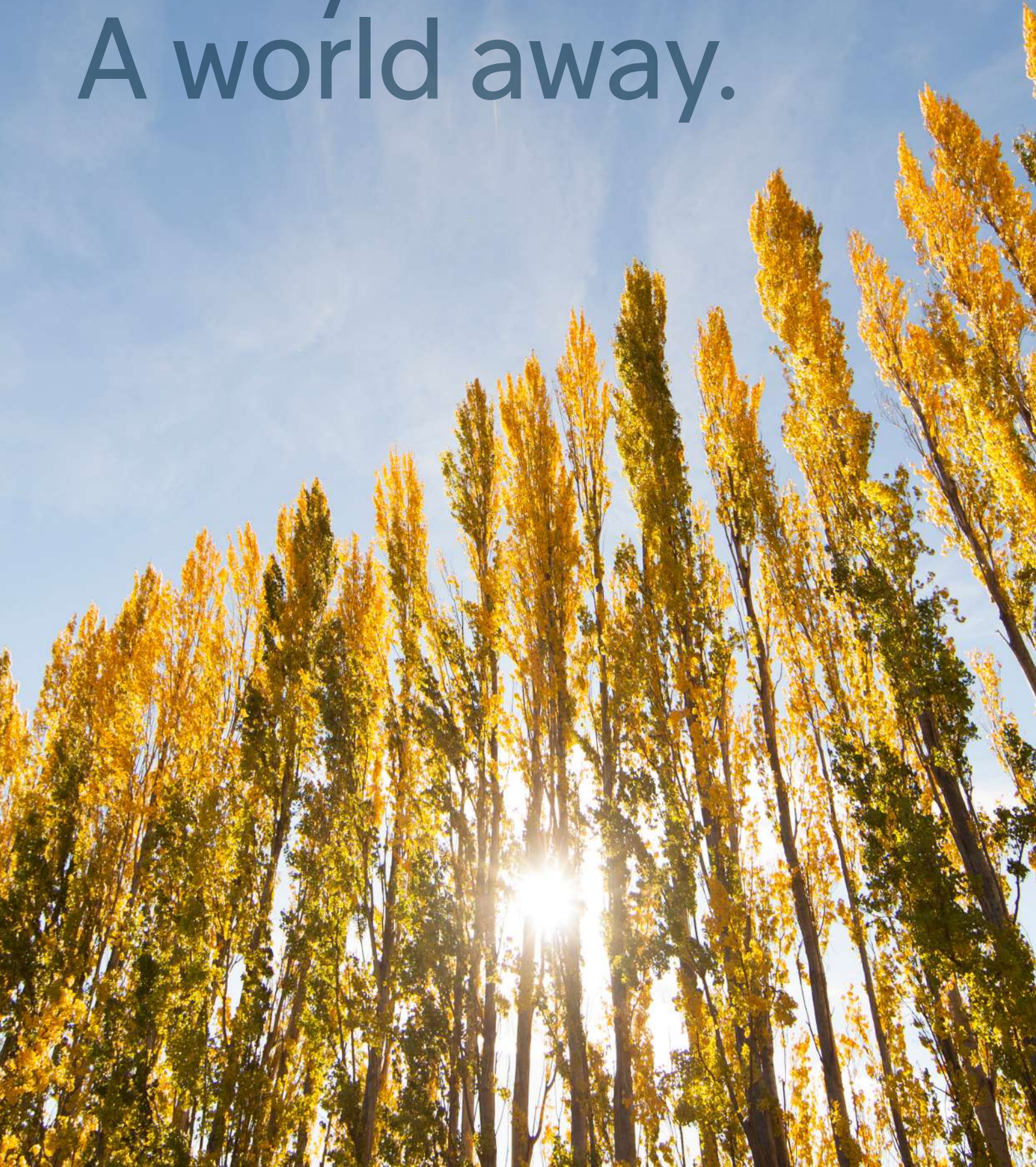
Experience all the amenities and outdoor opportunities that Cromwell and nearby Lake Dunstan have to offer, whilst tucked away amongst an exclusive rural setting. If you're looking for somewhere to build your dream home, a work from home office or extensive garaging for your tools and toys, River Terrace can be your idyllic country escape.



0km 2.5km 5km

River Terrace is located only 3km from the bustling township of Cromwell.

Easily accessible.
A world away.



An iconic Kiwi playground



Conveniently positioned between Queenstown and Wanaka for transport links, business and further recreation opportunities.

River Terrace is only 45 minutes from Queenstown's regional airport, fine dining and premium retail offerings, and 35 minutes from Wanaka's vibrant town centre.

Closer to home you can experience the best of Central Otago's natural beauty right on your doorstep. Enjoy walking and cycle trails along the pristine Lake Dunstan and take to the water for fishing, boating, swimming, waterskiing or rowing.

Across the Karawau River is the charming historic town of Bannockburn, famous for its world class wineries and fantastic cellar doors and restaurants.



Mountain biking



Hiking



Vineyards



Golf



Boating



Fishing

The Property

Build your dream in River Terrace.

A rare opportunity to build
your dream in an awe-inspiring
environment.



Site boundary shown is indicative

17 Land Parcels

1.38 ha — 3.92 ha

For the latest updates on pricing and what's available, visit the website.

[CLICK HERE](#)

Sealed access, power and water services provided to the boundary.



Lot size and layout subject to survey, approval and title. Dimensions, details, availability and timing subject to change without notice.

Artists impression of the
River Terrace landscaping.



River Terrace enjoys breathtaking scenery, vivid landscapes and endless outdoor experiences. These large, flat and beautifully presented sites have flexible design guidelines that embrace the lifestyle of the area and protect the quality of the neighbourhood.



Indicative Lot Landscaping



Lot size and layout subject to survey, approval and title. Dimensions, details, availability and timing subject to change without notice.

House and Land Packages



Designer house and land packages are available now. These come complete with a 5-bay shed, yard, vehicle courtyards and extensive landscaping. The only thing missing is the horse!

Surrounded by stunning, expansive landscapes there's room to relax, roam, work from home then tinker in the workshop. Discover a freer, relaxed pace of life at River Terrace, your ideal retreat to live, work and play.



The Developer

Setting the standard as a world-class
New Zealand owned property developer.



Winton is dedicated to
partnering with buyers to build a
lasting legacy for generations to
come.

Winton creates premium,
thoughtfully master-planned
communities, in harmony with
the natural surrounds.

Designed for modern living,
Winton leads the way in
delivering quality, sustainable
and environmentally connected
communities.

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The Agents

Get in touch with our friendly agents today to find out more and book a viewing.

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Don't miss a unique opportunity to build a premier lifestyle within the rich palette and sweeping beauty of Central Otago.

Dramatic peaks and golden valleys. Generous spaces and crisp mountain air.

Method of sale: Advertised Price. Contract including design control guidelines available on request.

Disclaimer

1.1 This confidential Information Memorandum (Memorandum) has been prepared by the current owner of the property (the "Vendor") and its Agents (including Bayleys Queenstown, Bayleys Arrowtown and Harcourts). Neither this Memorandum nor the information contained in it nor any other information supplied by the Agents or the Vendor forms the basis of any contract or any other legal obligations.

1.2 This Memorandum has been prepared solely for information purposes in order to assist potential purchasers or operators ("Investors") in making their own evaluation of the Property and does not purport to contain all the information that Investors may require. Investors should, amongst other things, conduct their own investigations and analysis of the Property and the information set out in this Memorandum. By accepting this Memorandum, Investors acknowledge that the Agents and the Vendor disclaim any liability to reimburse or compensate Investors for any costs, losses or expenses incurred by Investors in evaluating the Property or otherwise acting in connection with the process of evaluating the Property.

1.3 Neither the Agents or the Vendor has independently verified or audited any of the information, including projections or budgets contained in this Memorandum. Neither the Agents (including any of its shareholders, directors, employees, advisors or agents) or the Vendor, make any representation or warranty as to the accuracy or completeness of the information contained in this Memorandum (or any other written or oral communications to the Investor) and those parties shall have no liability (including for negligence) for any statements, opinions, information or matters (express or implied)

conveyed directly or indirectly to Investors in relation to the Property. In addition, no representation is made by the Agents or the Vendor that there has been no change in the state of the Property either before or after the date of provision of this Memorandum, or as to the future prospects or performance of the Property.

1.4 In particular, this Memorandum includes certain statements, analyses, budgets and projections provided by the Agents or the Vendor. Such statements, analyses, budgets and projections reflect various assumptions made by the Agents or the Vendor which may or may not prove correct.

While the statements, analyses, estimates, budgets and projections contained in this Memorandum have been carefully developed and have been arrived at on the basis of the best information available at the date of this Memorandum, no representations or warranties are made by the Agents or the Vendor as to the accuracy and completeness of such statements, analyses, estimates, budgets and projections.

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